

# Architect's Supplemental Instructions

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Police Department Midtown District

ASI Number 004

1/25/2018

Engberg Anderson Project No. 152413.01

Page 1

**To:**

**Contractor**

Tom Zahalka  
Miron Construction Co., Inc.

**Owner**

Jim Whitney  
City of Madison

**Owner's Representative**

8215 Greenway Blvd.,  
Suite 100  
Middleton, Wisconsin 53562

210 Martin Luther King, Jr. Boulevard  
Madison, Wisconsin 53703

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The information contained in these Supplemental Instructions modifies, explains, corrects, supplements or replaces information contained in the Construction Documents. Commencement of work in accordance with these instructions will serve as your acknowledgement that there will be no change in the contract cost or contract time. If any change in cost is required, furnish labor and material breakdown to Engberg Anderson and obtain approval prior to commencement of work described herein. All requests for additional time or money shall be identified within 14 days of receipt of this document.

**DESCRIPTION:**

1. The following are coordination comments that are to be made to the drawings:

- A. Detail 2/A501 - B.O. DECK EL. to be **117'-7"**
- B. Detail 3/A502 - Detail 3/A510 add note **SIM.**
- C. Detail 7/A510 - T.O. BLOCKING EL. should read **EL. 118'-6-1/2"**
- D. Sheet A301 add note: **"TOILET ACCESSORIES TA-3, TA-5 & TA-6 TO BE OWNER SUPPLIED AND CONTRACTOR INSTALLED. VERIFY PRODUCT SPECIFICATION INFORMATION WITH OWNER PRIOR."** Information has been addressed in shop drawings, provide credit to owner for removed products.
- E. Sheet A700 - Incident Room #B005: TB-2 should read **TB-1** (addressed in shop drawings)
  - Prop #B004: WB-1 to be changed to **WB-2** (addressed in shop drawings)
- F. Sheet A701 - Community Room #103: Add note to CB-1 **"BOTTOM OF CB-1 TO BE MOUNTED 1'-9" AFF."**
  - Outreach #125: TB-2 should read **TB-1** (addressed in shop drawings)

2. The attached sheet A100 is being reissued with changes to the louver opening for OAL-2 in room MECH/SWGEAR #B009 to match the louver schedule in the mechanical drawings. This change has been addressed in the cold formed metal framing shop drawings.

3. The attached sheet A101 has been reissued with the following changes:
  - A. Dimensional change to the window opening along column line J between column line 5.15 & 5.4 to address precast coordination issue as answered in RFI012.
  - B. Change the wall type for the wall between Community Room #103 & Lobby #101 from K03 to **M03** to allow for the roof drain to be located within as addressed in RFI 013.
  - C. At Entry #100, the Automatic door actuator on the exterior of the building has been changed from a wall mount to a bollard style. The actuator to be mounted on a concrete pedestal with top elevation 4" above the walking surface. Verify dimensions of concrete pedestal with dimensions of bollard per manufacturer.
  
4. The attached sheet S101 has been issued with the following revisions:
  - A. ADD L3x3 vertical angles in the stud wall cavity below Storefront M to provide support for metal stud framing as addressed in RFI 020.
  
5. The attached sheet S102 has been issued with the following revisions:
  - A. Detail 2/S102 ADD deck support angle to clerestory framing along Grid H - refer to detail 4
  - B. Detail 1/S102 ADD angle to steel column to support light gage header at Column J-6 as addressed in RFI 020.
  - C. Detail 1/S102 ADD HSS 10x6 structural header over Storefront M attached to building columns for support of stud wall above as addressed in RFI 020
  
6. The attached sheet C100 has been reissued with the following revisions:
  - A. Existing concrete sidewalks and curbs have been shown removed from the project. This information is documentation that was previously issued in CB-4
  
7. The attached sheet C200 has been reissued with the following revisions:
  - A. New concrete sidewalk, curbs and apron that have been removed from the project to be done by others.
  - B. Flagpole has been moved with additional pavers to be placed around the base.
  - C. Addition of a 3'-0" wide gate to the North property for access to cleanout in neighbors yard.
  
8. The attached sheet C400 has been reissued with the following revisions:
  - A. The 54" storm sewer has been moved to the West. Refer to reissued sheet R100 for additional information.

**ATTACHMENTS:**

A100 & A101  
S101 & S102  
C100, C200 & C400  
R100

**ISSUED BY:**



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**COPIED:**

Dan Huntington, IMEG  
Capt. Jay Lengfeld, City of Madison Police  
Jacob Blue, Ayres Associates

**POLICE  
DEPARTMENT  
MIDTOWN DISTRICT**

4020 Mineral Point Road, Madison, WI  
City of Madison Police Department  
211 South Carroll Street  
Madison, WI 53703

PROJECT NUMBER 152413.01

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CONSTRUCTION 5-5-2017

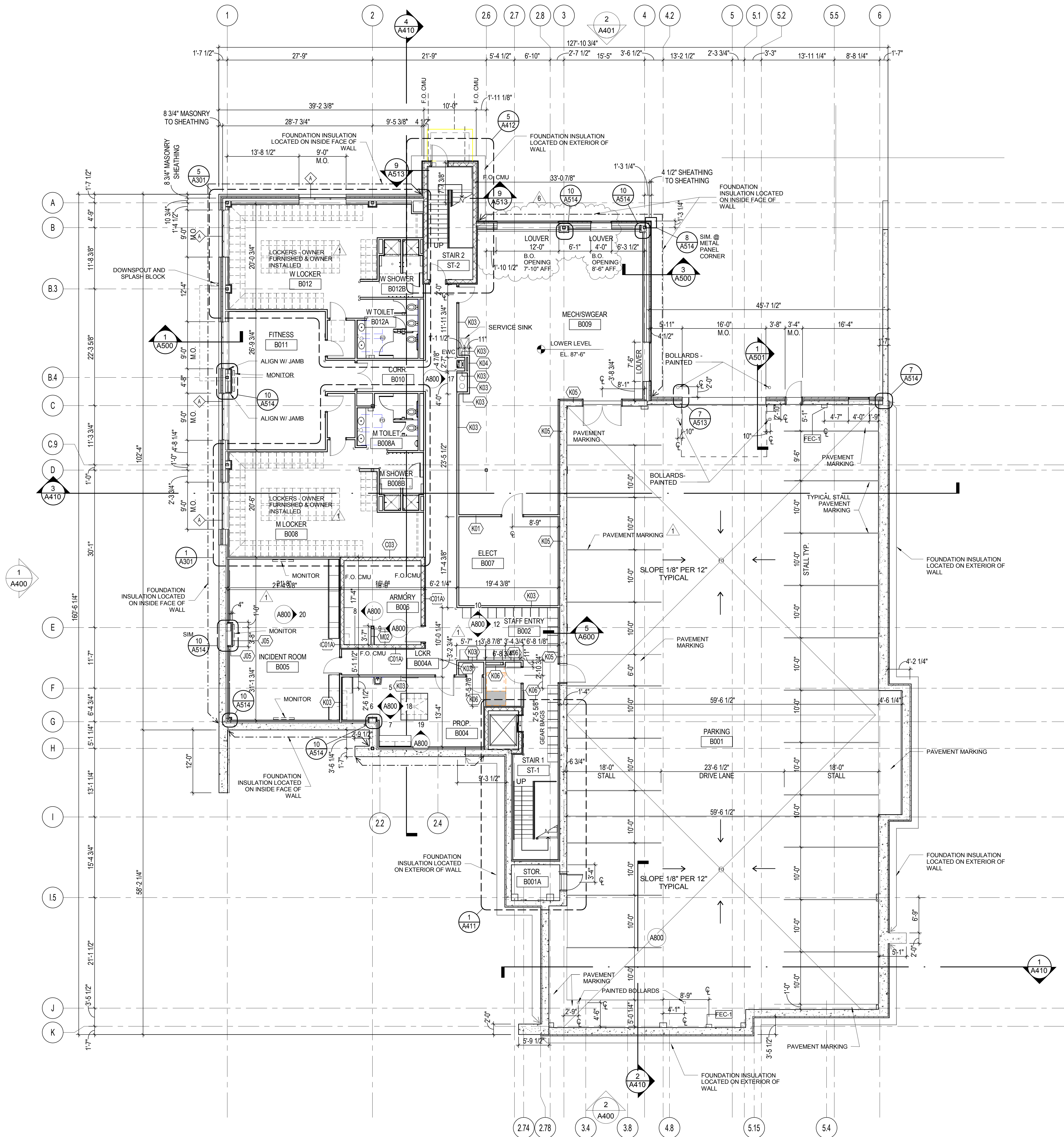
REVISION FOR:  
NO. DESCRIPTION DATE  
1 ADDENDUM #1 5-9-17  
6 ASI #004 1-25-18

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CHECKED BY SK

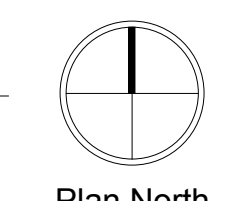
**LOWER LEVEL PLAN**

**GENERAL NOTES - FLOOR PLANS**

- ALL EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR WALL SHEATHING, U.N.O.
- ALL DIMENSIONS OF INTERIOR WALLS ARE TO FACE OF FINISHED GYPSUM BOARD, U.N.O.
- VERIFY ALL EXTERIOR ROUGH OPENING DIMENSIONS WITH PRODUCT. INTERIOR DOOR JAMBS ARE 4" DIMENSIONS FROM FACE OF JAMB TO ADJACENT WALL UNLESS NOTED OTHERWISE.
- REFER TO FINISH PLANS FOR MONITOR, WHITEBOARD, TACK BOARD, CHALKBOARD AND INTERIOR SIGNAGE LOCATIONS. PROVIDE BLOCKING IN WALLS FOR MOUNTING TYPICAL. VERIFY SIZES OF OWNER PURCHASED EQUIPMENT.
- REFER TO A711 FOR FURNITURE (N.I.C.) BY OWNER. SEE ELECTRICAL & TECHNOLOGY PLANS FOR COORDINATION OF REQUIRED CONNECTIONS.
- VERIFY LOUVER ROUGH OPENINGS WITH MECHANICAL DRAWINGS.



**1 LOWER LEVEL PLAN**  
SCALE: 1/8" = 1'-0"



**GENERAL NOTES - FLOOR PLANS**

- ALL EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR WALL SHEATHING, U.N.O.
- ALL DIMENSIONS OF INTERIOR WALLS ARE TO FACE OF FINISHED GYPSUM BOARD, U.N.O.
- VERIFY ALL EXTERIOR ROUGH OPENING DIMENSIONS WITH PRODUCT. INTERIOR DOOR JAMBS ARE 4" DIMENSIONS FROM FACE OF JAMB TO ADJACENT WALL UNLESS NOTED OTHERWISE.
- REFER TO FINISH PLANS FOR MONITOR, WHITEBOARD, TACK BOARD, CHALKBOARD AND INTERIOR SIGNAGE LOCATIONS. PROVIDE BLOCKING IN WALLS FOR MOUNTING TYPICAL. VERIFY SIZES OF OWNER PURCHASED EQUIPMENT.
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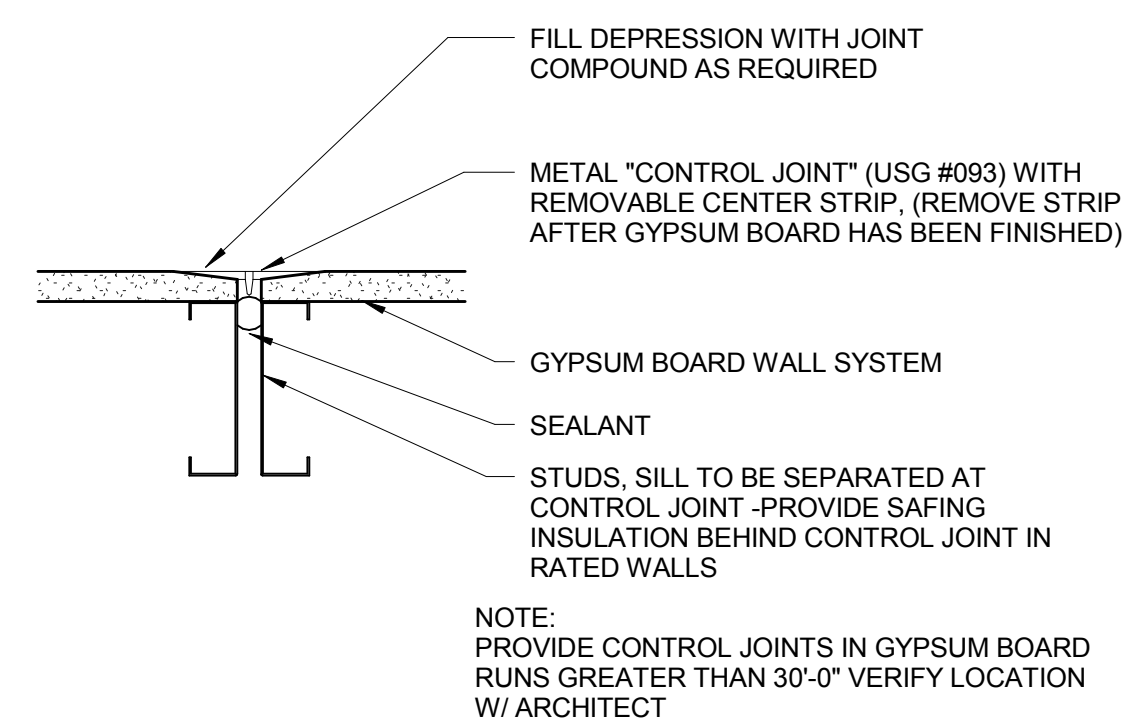
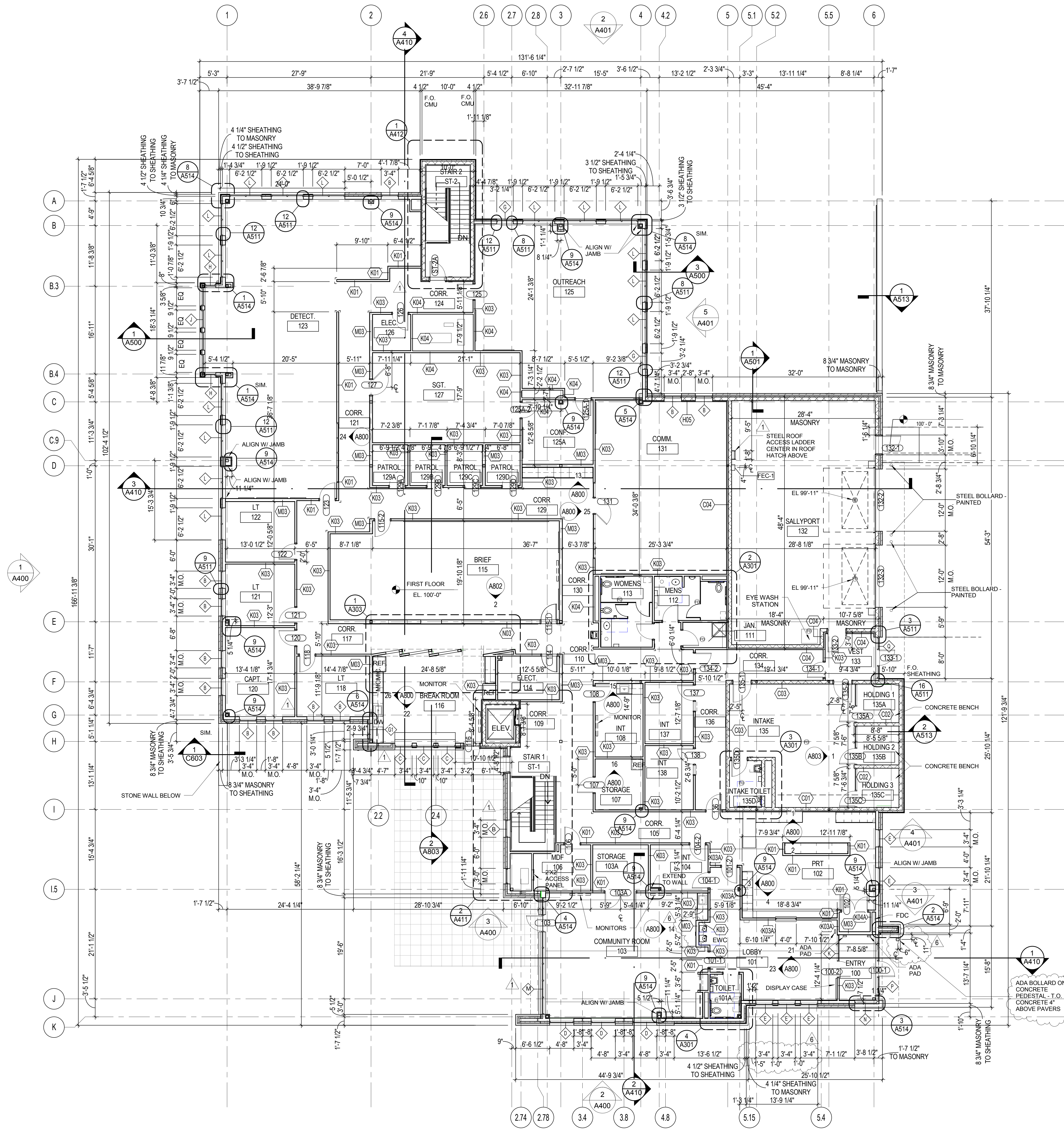
**POLICE DEPARTMENT  
MIDTOWN DISTRICT**

4020 Mineral Point Road, Madison, WI  
City of Madison Police Department  
211 South Carroll Street  
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PROJECT NUMBER 152413.01

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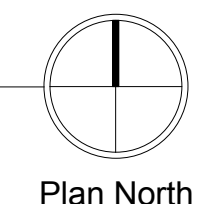
**2 GYPSUM BOARD CONTROL JOINT DETAIL**  
SCALE: 3" = 1'-0"

**1 FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

DRAWN BY MMZ  
CHECKED BY SK

**FIRST FLOOR PLAN**

**A101**



**POLICE  
DEPARTMENT  
MIDTOWN DISTRICT**

4020 Mineral Point Road, Madison, WI  
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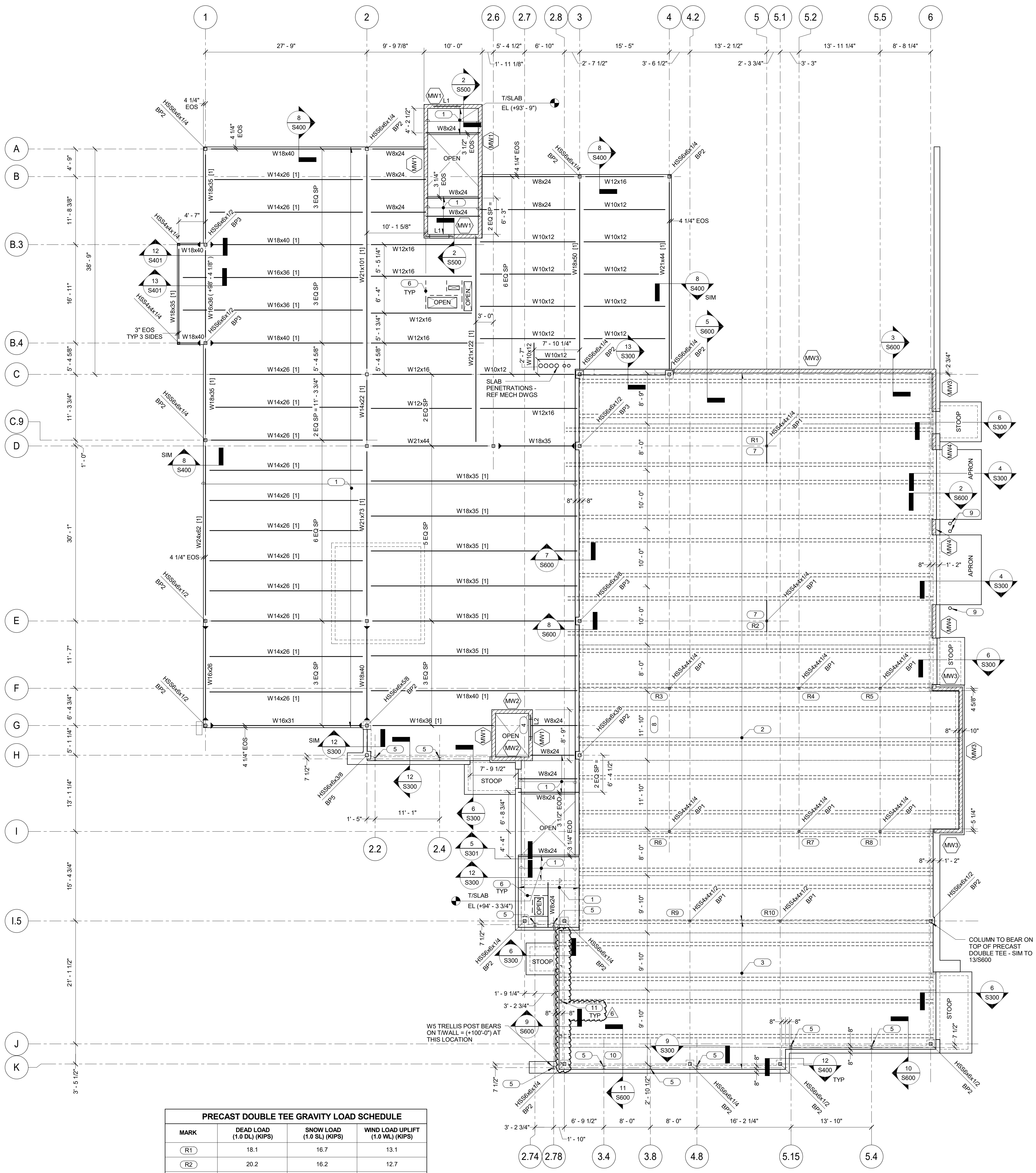
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CHECKED BY Checker

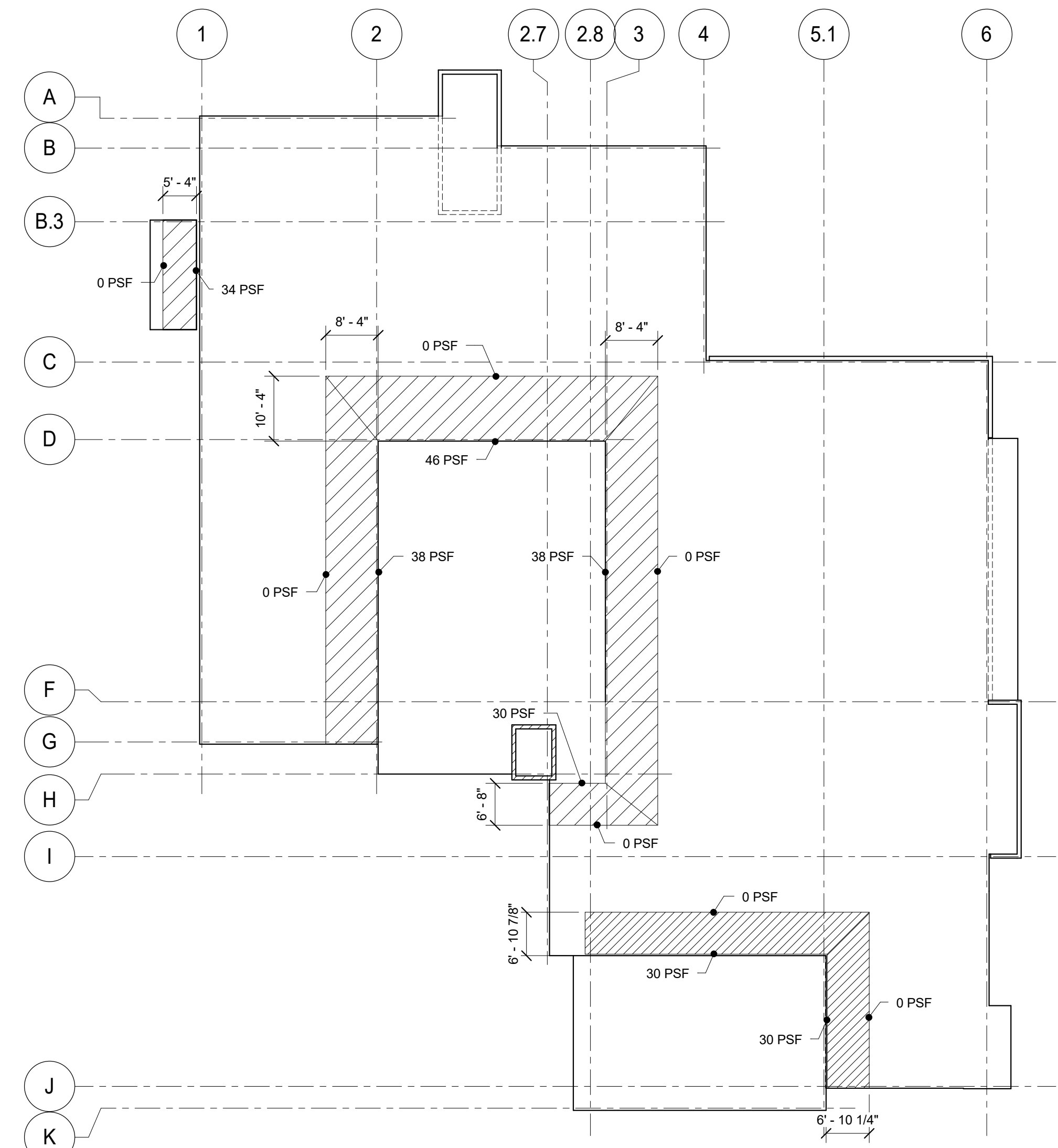
**FIRST FLOOR  
FRAMING PLAN**



PRECAST DOUBLE TEE GRAVITY LOAD SCHEDULE			
MARK	DEAD LOAD (1.0 DL) (KIPS)	SNOW LOAD (1.0 SL) (KIPS)	WIND LOAD UPLIFT (1.0 WL) (KIPS)
(R1)	18.1	16.7	13.1
(R2)	20.2	16.2	12.7
(R3)	8.0	8.0	5.9
(R4)	12.0	9.2	7.3
(R5)	5.5	4.1	3.3
(R6)	10.7	12.3	9.0
(R7)	11.8	10.0	7.8
(R8)	7.0	5.8	4.6
(R9)	7.4	11.4	7.7
(R10)	8.6	12.8	8.4

**1 FIRST FLOOR FRAMING PLAN**

- 1/8" = 1'-0"
- NOTES:
- TOP OF STEEL ELEVATION (+99'-8") UNO.
  - REFER TO S5401 FOR TYPICAL SHEAR CONNECTION.
  - ▶ INDICATES MOMENT CONNECTION PER 9/S401 AND 13/S500.
  - REFER TO 4, 5, AND 6/S400 FOR COMPOSITE SLAB CONSTRUCTION DETAILS.
  - REFER TO 3/S5400 FOR DECK FASTENING REQUIREMENTS.
  - L# INDICATES LINTEL IN STRUCTURAL MASONRY WALL - REFER TO S100 FOR SCHEDULE.
  - PROVIDE BRACING OF NON-STRUCTURAL MASONRY PARTITION PER 8/S500.
  - PROVIDE ANGLE FRAMING AROUND OPENING PER 9/S400.
  - MW# INDICATES MASONRY SHEAR WALL. REFER TO S100 FOR SCHEDULE.
  - (R#) INDICATES REACTION TO PRECAST. REFER TO THIS SHEET FOR SCHEDULE.
  - REFER TO 13/S401 FOR TYPICAL COLUMN BEARING ON DOUBLE TEE DETAILS.
  - REFER TO DETAIL 6/S600 FOR TYPICAL BOLLARD DETAIL.
  - BP# INDICATES BASE PLATE. REFER TO S400 FOR BASE PLATE DETAILS.
- KEYNOTES:
- 2 1/2" NORMAL, WEIGHT CONCRETE ON 1 1/2" (20GA) COMPOSITE STEEL DECK, SPAN MINIMUM, WITH 6x6 - W2 1 WWR, TOTAL THICKNESS = 4". TOP OF SLAB ELEVATION (+100'-0").
  - 43 1/4" PRECAST DOUBLE TEE FRAMING MEMBERS WITH 3" FIELD CAST TOPPING WITH 6x6 - W2 1xW2 1 WWR, TOP OF TOPPING ELEVATION (+100'-0"). REFER TO 1/S600 FOR DIMENSIONAL INFORMATION.  
PRECASTER TO DESIGN FOR THE FOLLOWING SUPERIMPOSED LOADS:  
DL = 50 PSF (4" TOPPING)  
LL = 50 PSF  
HL = 1800 PLF (SOIL DIAPHRAM LOAD)  
THE REQUIRED DEFLECTION PERFORMANCE (INCLUDING CREEP) UNDER DL + LL < 1".
  - 43 1/4" PRECAST DOUBLE TEE FRAMING MEMBERS WITH 3" FIELD CAST TOPPING WITH 6x6 - W2 1xW2 1 WWR, TOP OF TOPPING ELEVATION (+100'-0"). REFER TO 1/S600 FOR DIMENSIONAL INFORMATION.  
PRECASTER TO DESIGN FOR THE FOLLOWING SUPERIMPOSED LOADS:  
DL = 50 PSF (4" TOPPING)  
LL = 100 PSF  
HL = 1800 PLF (SOIL DIAPHRAM LOAD)  
THE REQUIRED DEFLECTION PERFORMANCE (INCLUDING CREEP) UNDER DL + LL < 1".
  - ELEVATOR SUPPLIER TO CONFIRM OPENING WIDTH REQUIRED FOR INSTALL. MAXIMUM SPAN FOR L2 LINTEL OPENING = 6'-8".
  - W5x16 TRELIS POST WITH BP4, TYP. REFER 13/S300 SIM AND 12/S600 FOR TRELIS POST TO STEEL BEAM DETAIL. UNO. POSTS BEAR ON WALL LEDGE FOR SLAB = (+99'-6") AT SLAB ON METAL DECK AND (+99'-4") AT PRECAST DOUBLE TEE TOPPING SLAB.
  - PROVIDE C12x20 7 STEEL FRAMING AROUND FLOOR OPENINGS. COORDINATE QUANTITY AND LOCATION WITH ARCH AND MEP DRAWINGS.
  - W16x26 BEAM. REFER TO DETAIL 13/S600.
  - DOUBLE TEE LAYOUT SHOWN IS RECOMMENDED TO ALLOW TUBE COLUMNS TO BEAR DIRECTLY OVER TEES. CONTRACTOR TO BEAR ALL COSTS FOR VARYING FROM THE LAYOUT SHOWN.
  - PIPE BOLLARD. COORDINATE ALL LOCATIONS WITH ARCHITECTURAL DRAWINGS. REFER TO 6/S600.
  - 12" PRECAST PLANK.
  - BELOW SILL OF STOREFRONT. INSTALL 1.38x1/4" x 2'-0" LONG VERTICAL ANGLES CENTERED IN STUD WALL, EMBEDDED 4" INTO TOPPING SLAB @ 6'-0". COORDINATE LOCATION WITH LIGHT GAGE STUD SUPPLIER.



**2 SNOW DRIFT PLAN**

- 1/16" = 1'-0"
- NOTES:
- DRIFT LOADS ARE IN ADDITION TO THE FOLLOWING LOADS:  
A. BALANCED SNOW LOAD = 25 PSF (1.0 SL)  
B. WIND LOAD (GROSS) = 18 PSF (1.0 WL)  
C. WIND LOAD (NET) = 6 PSF (0.6 DL MIN + 1.0 WL)  
D. DEAD LOAD = 20 PSF (1.0 DL)  
E. LIVE LOAD = 20 PSF (REDUCIBLE, 1.0 LL)

**3 BASE PLATE (BP5) DETAIL**



**KJ ENGINEERING CONSULTANTS**  
1800 DENING WAY SUITE 200  
MILWAUKEE, WISCONSIN 53212  
608.221.9600 FAX: 608.836.0415  
WWW.KJWC.COM  
THE FUTURE. THE SMARTER.  
PROJECT # 16.0029.00

1800 DENING WAY SUITE 200  
MILWAUKEE, WISCONSIN 53212  
608.221.9600 FAX: 608.836.0415  
WWW.KJWC.COM  
THE FUTURE. THE SMARTER.  
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REFERENCE SCALE IN INCHES

**S101**

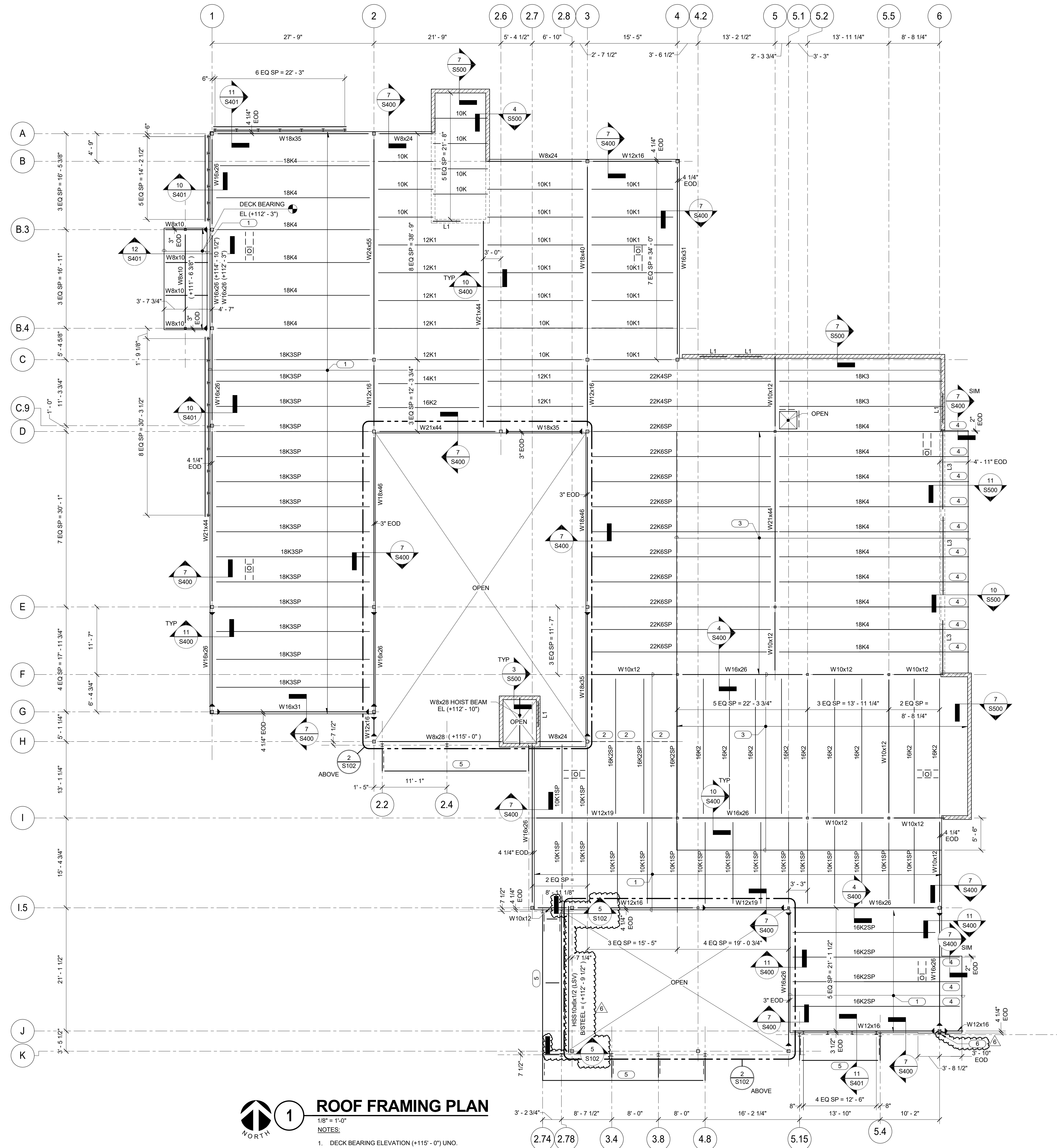
**POLICE  
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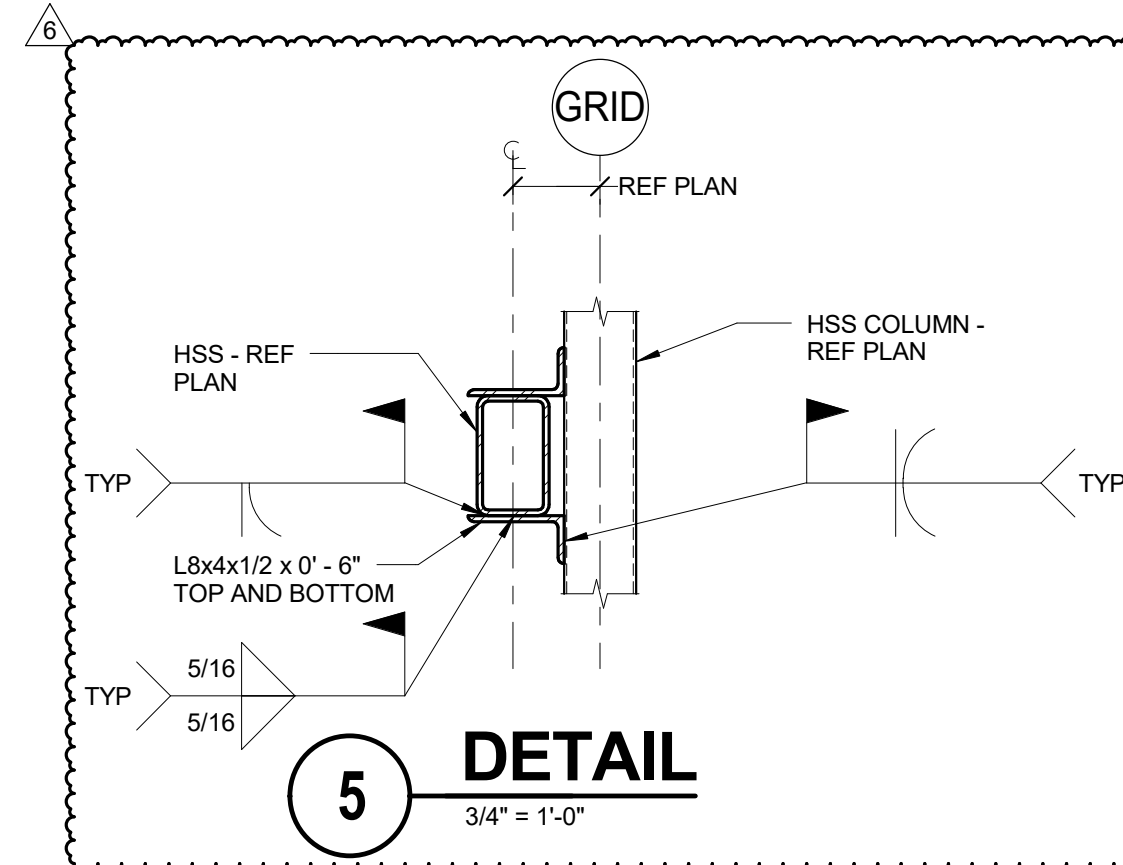
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CONSTRUCTION 5-5-17

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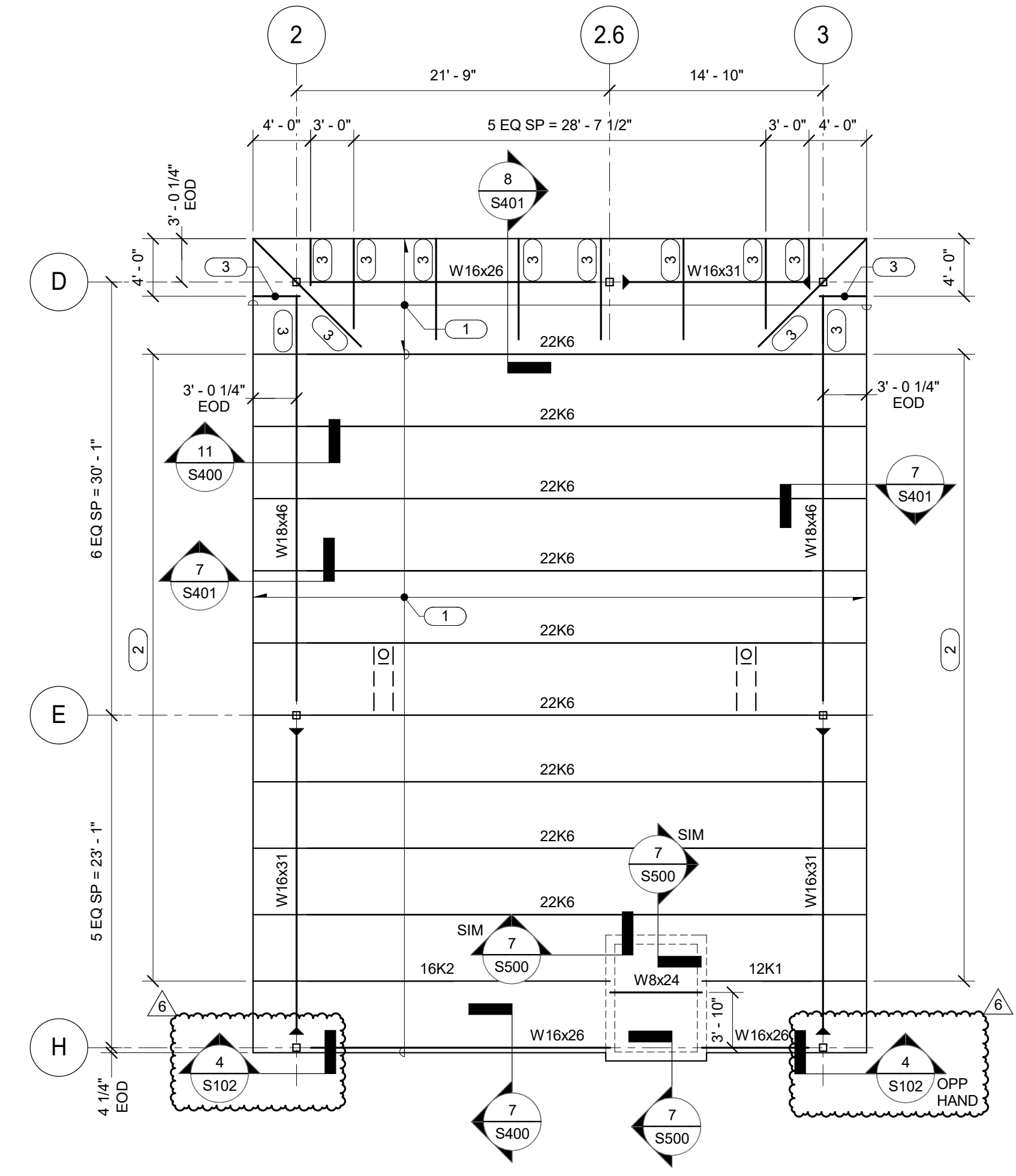
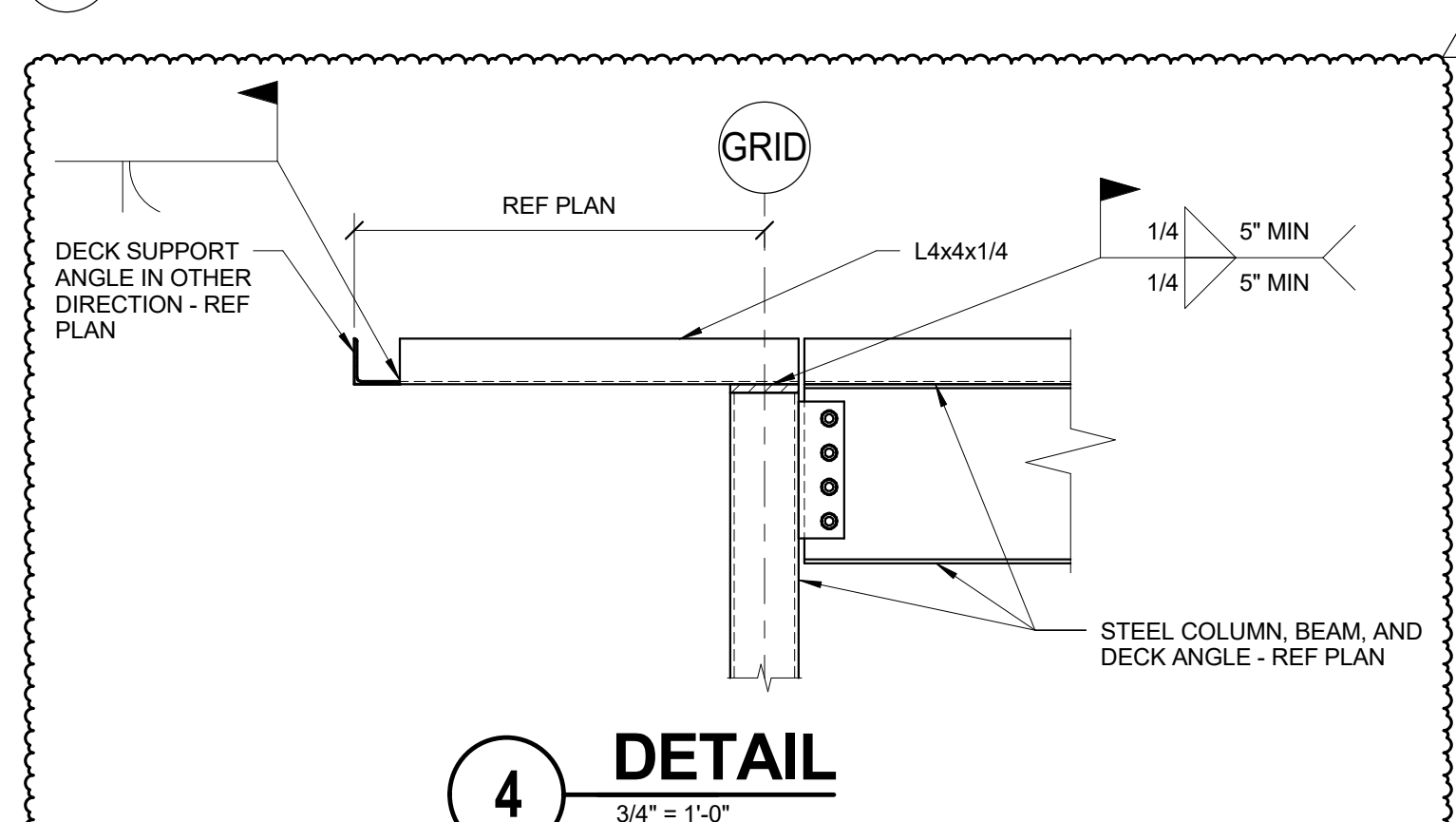


**1 ROOF FRAMING PLAN**  
1/8" = 1'-0"  
NOTES:  
1. DECK BEARING ELEVATION (+115'-0") UNO.  
2. REFER TO S/S401 FOR TYPICAL SHEAR CONNECTION.  
3. INDICATES PER 9/S401 AND 13/S500.  
4. REFER TO 3/S400 FOR DECK FASTENING REQUIREMENTS.  
5. PROVIDE BRACING OF NON-STRUCTURAL MASONRY - REFER TO S100 FOR SCHEDULE.  
6. FOR LINTELS IN NON-STRUCTURAL WALLS, REFER TO GENERAL NOTES FOR SCHEDULE.  
7. ALL OPENINGS IN ROOF DECKING PER 9/S400.  
8. #KSP# INDICATES SPECIAL JOIST. REFER TO SHEET S101 FOR LOADS. REF TO KEYNOTE 3 FOR ADDITIONAL DEAD LOAD DUE TO SOLAR PANELS.  
KEYNOTES:  
1 1 1/2"(20 GA) STEEL DECK, 2 SPAN MINIMUM. FASTENING = 36/4 (2) WITH 5/8" PUDDLE WELDS AND #10 SIDELAP SCREWS.  
2 L4x4x5/16 COLLECTOR MEMBERS. BUTT WELD MEMBERS AT END COND.  
3 ROOF STRUCTURE TO SUPPORT SOLAR ARRAY SYSTEM, APPROX 15 PSF. VERIFY FINAL SOLAR ARRAY SYSTEM SELECTED WITH ENGINEER.  
4 R3 TOP CHORD EXTENSION, TYP.  
5 EXTERIOR TRELLIS REFER TO ARCH.

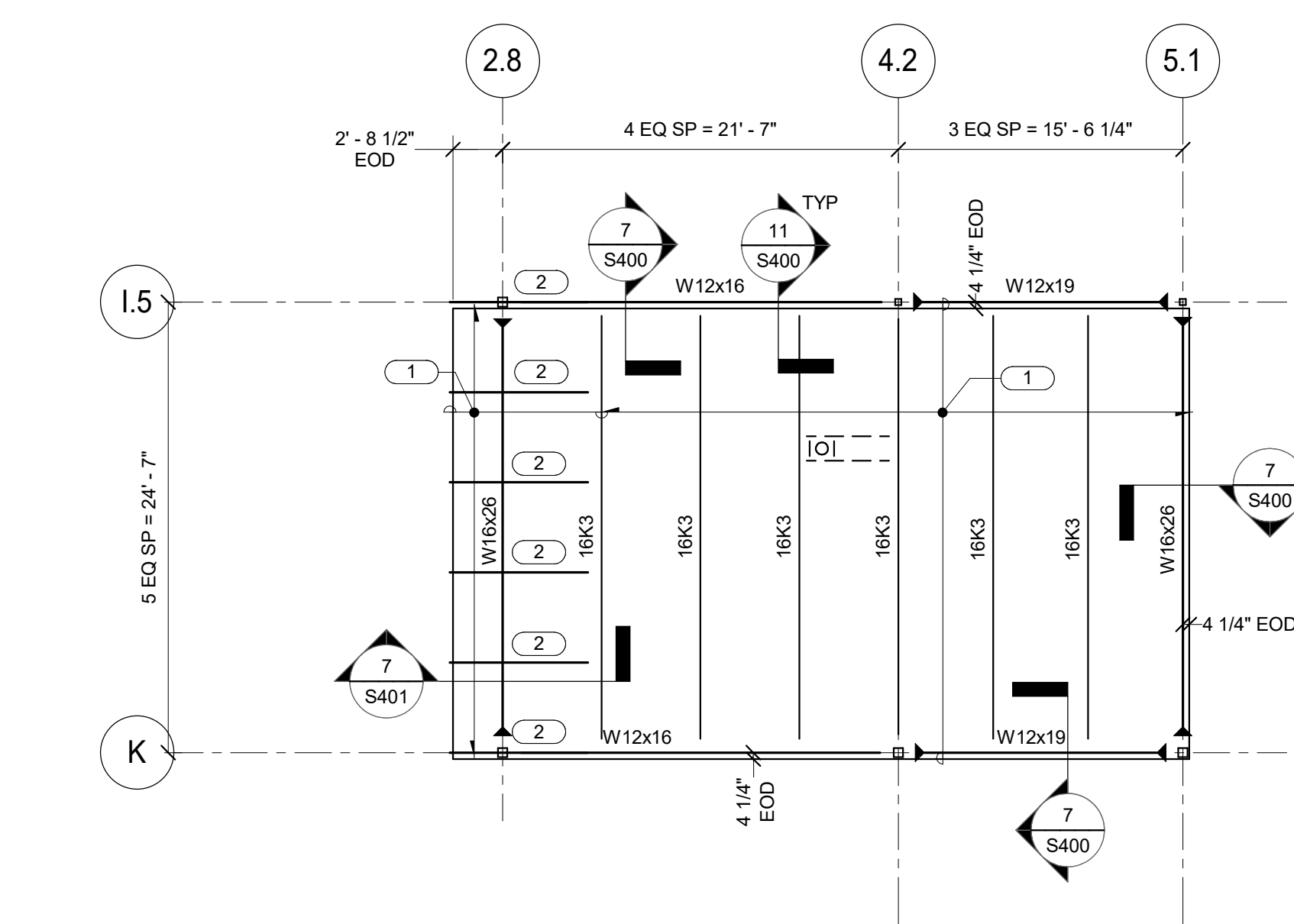


KEYNOTE 3: HSS 10x6x1/2 (L3) BRISREEL - (+112'-9 1/2") UNO

KEYNOTE 4: L6x3 1/2x5/16 x 0'-8" ANGLE FIELD WELDED WITH 1/4" FILLET WELDS TOP AND BOTTOM TO SOUTH FACE (OR EAST FACE AT CONTRACTOR'S OPTION) OF COLUMN TO SUPPORT LIGHT GAGE HEADER. COORDINATE ELEVATION WITH LIGHT STUD CONTRACTOR.



**2 CLERESTORY FRAMING PLAN**  
1/8" = 1'-0"  
NOTES:  
1. DECK BEARING ELEVATION (+123'-2") UNO.  
2. REFER TO S/S401 FOR TYPICAL SHEAR CONNECTION.  
3. INDICATES MOMENT CONNECTION PER 13/S500.  
4. REFER TO 3/S400 FOR DECK FASTENING REQUIREMENTS.  
KEYNOTES:  
1 1 1/2"(20 GA) STEEL DECK, 2 SPAN MINIMUM. FASTENING = 36/4 (2) WITH 5/8" PUDDLE WELDS AND #10 SIDELAP SCREWS.  
2 R1 TOP CHORD EXTENSION, TYP.  
3 HSS 2 1/2x 2 1/2x 1/4" OUTRIGGER, TYP.



**3 COMMUNITY ROOM ROOF FRAMING PLAN**  
1/8" = 1'-0"  
NOTES:  
1. DECK BEARING ELEVATION (+117'-7") UNO.  
2. REFER TO S/S401 FOR TYPICAL SHEAR CONNECTION.  
3. INDICATES MOMENT CONNECTION PER 13/S500.  
4. REFER TO 3/S400 FOR DECK FASTENING REQUIREMENTS.  
KEYNOTES:  
1 1 1/2"(20 GA) STEEL DECK, 2 SPAN MINIMUM. FASTENING = 36/4 (2) WITH 5/8" PUDDLE WELDS AND #10 SIDELAP SCREWS.  
2 HSS 2 1/2x 2 1/2x 1/4" OUTRIGGER, TYP.

DRAWN BY CHRMAR  
CHECKED BY Checker

**ROOF FRAMING  
PLAN**

**KJ ENGINEERING CONSULTANTS**  
1800 DENING WAY SUITE 200  
MADISON, WISCONSIN 53702  
608.221.9600 FAX: 608.836.0415  
WWW.KJWC.COM  
PROJECT # 16.0029.00

DATE: 01-25-18  
PROJECT: POLICE DEPARTMENT MIDTOWN DISTRICT

**S102**

**Midtown Police Station**

4020 Mineral Point Road, Madison WI

City of Madison  
210 MLK, Jr. Blvd  
Madison, WI 53703

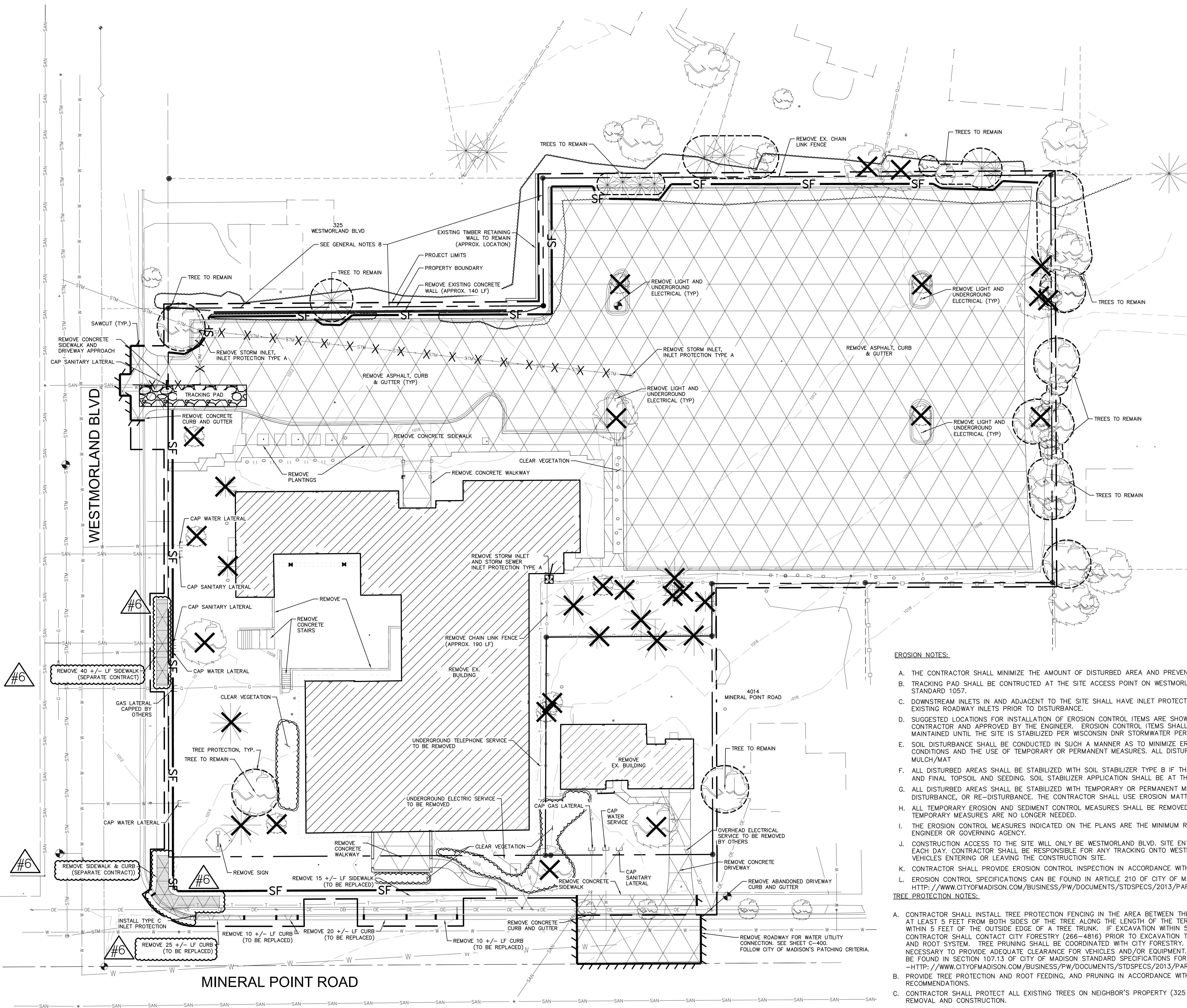
PROJECT NUMBER 152413.01  
AYRES PROJECT NUMBER 27-1034.00

ISSUED FOR:  
CONSTRUCTION 5-5-2017

REVISION FOR:		
NO.	DESCRIPTION	DATE
1	ADDENDUM #1	6/9/17
3	ASI #001	10/3/17
4	ASI #002	10/25/17
6	ASI #004	1/25/18

**LEGEND**

	PROPERTY BOUNDARY
	PROJECT LIMIT LINE
	REMOVE ASPHALT/CONCRETE AND ISLANDS (CURB & GUTTER, LANDSCAPING, ETC.)
	DEMOLISH EXISTING BUILDING
	REMOVE TREE
	REMOVE UTILITY
	SILT FENCE
	SAWCUT PAVEMENT
	CONTOUR
	BUILDING
	GAS SERVICE
	SANITARY SEWER
	WATER MAIN
	STORM SEWER
	TELEPHONE LINE
	UNDERGROUND ELECTRIC LINE
	OVERHEAD ELECTRIC LINE
	WOOD FENCE
	CHAIN LINK FENCE
	BUSHLINE
	TREE (DECIDUOUS)
	TREE (EVERGREEN)
	TREE PROTECTION



- EROSION NOTES:**
- THE CONTRACTOR SHALL MINIMIZE THE AMOUNT OF DISTURBED AREA AND PREVENT TRACKING ONTO WESTMORLAND BLVD AND MINERAL POINT ROAD.
  - TRACKING PAD SHALL BE CONSTRUCTED AT THE SITE ACCESS POINT ON WESTMORLAND BLVD. TRACKING PAD SHALL CONFORM TO WDNR CONSERVATIVE PRACTICE STANDARD 1037.
  - DOWNSTREAM INLETS IN AND ADJACENT TO THE SITE SHALL HAVE INLET PROTECTION. PROTECT PROPOSED INLETS ONCE THEY ARE CONSTRUCTED. PROTECT EXISTING ROADWAY INLETS PRIOR TO DISTURBANCE.
  - SUGGESTED LOCATIONS FOR INSTALLATION OF EROSION CONTROL ITEMS ARE SHOWN IN THE PLANS. FINAL LOCATIONS SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR AND APPROVED BY THE ENGINEER. EROSION CONTROL ITEMS SHALL BE IN PLACE PRIOR TO CONSTRUCTION. EROSION CONTROL ITEMS SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED PER WISCONSIN DNR STORMWATER PERMIT REQUIREMENTS.
  - SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS OF LAWN SHALL BE PATCHED WITH SEED FERTILIZER AND MULCH.
  - ALL DISTURBED AREAS SHALL BE STABILIZED WITH SOIL STABILIZER TYPE B IF THERE IS A DELAY OF MORE THAN 7 CALENDAR DAYS BETWEEN INITIAL GRADING AND FINAL TOPSOIL AND SEEDING. SOIL STABILIZER APPLICATION SHALL BE AT THE CONTRACTOR'S EXPENSE.
  - ALL DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS OF THE END OF ACTIVE HYDROLOGIC DISTURBANCE, OR RE-DISTURBANCE. THE CONTRACTOR SHALL USE EROSION MATTING ON ALL SLOPES STEEPER THAN 5:1 (20%).
  - ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
  - THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED AS DIRECTED BY THE ENGINEER OR GOVERNING AGENCY.
  - CONSTRUCTION ACCESS TO THE SITE WILL ONLY BE WESTMORLAND BLVD. SITE ENTRANCE SHALL BE CLEANED UP FROM DIRT AND TRACKED MUD AT THE END OF EACH DAY. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TRACKING ONTO WESTMORLAND, MINERAL POINT ROAD, AND SIDEWALKS CAUSED BY CONSTRUCTION VEHICLES ENTERING OR LEAVING THE CONSTRUCTION SITE.
  - CONTRACTOR SHALL PROVIDE EROSION CONTROL INSPECTION IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS AND WISCONSIN DNR.
  - EROSION CONTROL SPECIFICATIONS CAN BE FOUND IN ARTICLE 210 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION [HTTP://WWW.CITYOFMADISON.COM/BUSINESS/PW/DOCUMENTS/STDSPECS/2013/PART12.PDF](http://www.cityofmadison.com/BUSINESS/PW/DOCUMENTS/STDSPECS/2013/PART12.PDF)
- TREE PROTECTION NOTES:**
- CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING IN THE AREA BETWEEN THE CURB AND SIDEWALK AND EXTEND IT AT LEAST 5 FEET FROM BOTH SIDES OF THE TREE ALONG THE LENGTH OF THE TERRACE. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK. IF EXCAVATION WITHIN 5 FEET OF ANY TREE IS NECESSARY, CONTRACTOR SHALL CONTACT CITY FORESTRY (266-4816) PRIOR TO EXCAVATION TO ASSESS THE IMPACT TO THE TREE AND ROOT SYSTEM. TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY. PROTECT OR PRUNE LIMBS AS NECESSARY TO PROVIDE ADEQUATE CLEARANCE FOR VEHICLES AND/OR EQUIPMENT. TREE PROTECTION SPECIFICATIONS CAN BE FOUND IN SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION [-HTTP://WWW.CITYOFMADISON.COM/BUSINESS/PW/DOCUMENTS/STDSPECS/2013/PART1.PDF](http://www.cityofmadison.com/BUSINESS/PW/DOCUMENTS/STDSPECS/2013/PART1.PDF).
  - PROVIDE TREE PROTECTION AND ROOT FEEDING, AND PRUNING IN ACCORDANCE WITH THE WRITTEN ARBORIST RECOMMENDATIONS.
  - CONTRACTOR SHALL PROTECT ALL EXISTING TREES ON NEIGHBOR'S PROPERTY (325 WESTMORLAND BLVD) DURING WALL REMOVAL AND CONSTRUCTION.

- NOTE:** ALL CONSTRUCTION ACCESS SHALL COME FROM WEST MORLAND BOULEVARD.
- DEMOLITION AND REMOVAL NOTES:**
- TREE OR SHRUBS ARE TO BE PROTECTED UNLESS INDICATED FOR REMOVAL.
  - ALL MATERIAL THAT IS TO BE SALVAGED FOR REINSTALLATION THAT IS DAMAGED DURING REMOVAL OR STORAGE SHALL BE REPLACED WITH MATERIALS THAT MATCH THE EXISTING MATERIAL AT THE CONTRACTOR'S EXPENSE. VERIFY ACCEPTABLE REPLACEMENT MATERIALS WITH THE APPROPRIATE AGENCIES.
  - ALL CONCRETE SIDEWALK, CURB AND GUTTER, AND PAVEMENT TO BE REMOVED SHALL BE SAWCUT AT THE NEAREST JOINT.
  - LEAVE PAVEMENTS IN PLACE AS LONG AS PHASING ALLOWS TO CONTROL DUST AND MINIMIZE EROSION.
  - ANY PAVEMENT OR SITE FEATURES DAMAGED OR REMOVED DURING CONSTRUCTION BUT NOT REQUIRING REMOVAL AS PER THIS PROJECT SHALL BE REPLACED IN-KIND AT COST OF CONTRACTOR. MATERIALS TO BE REPLACED SHALL BE APPROVED BY THE APPROPRIATE AGENCIES.
  - CONTRACTOR SHALL PROTECT ANY EXISTING SURFACE FEATURES TO REMAIN INCLUDING BUT NOT LIMITED TO STREET LIGHTS/POLES, SIGNAGE, UTILITIES, BENCHES, TRASH BINS, ASH URINS, RECYCLING CONTAINERS, AND BIKE RACKS, ETC. TO REMAIN IN PLACE AS PER THIS PLAN. ANY MODIFICATION IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE COORDINATED BY THE CONTRACTOR WITH THE APPROPRIATE RESPONSIBLE AUTHORITY.
  - CONTRACTOR TO PROVIDE TEMPORARY WATERPROOF CAPS ON ALL PIPES, CONDUITS, AND BOX CONDUITS TO KEEP WATER AND DEBRIS OUT OF EXISTING SYSTEMS TO REMAIN.
  - ANY MATERIALS TO BE REMOVED SHALL BE DISPOSED OF IN A LEGAL MANNER.

**811**  
Know what's below.  
Call before you dig.

**FOR CONSTRUCTION**

DRAWN BY SK, SS  
CHECKED BY JB

**Site Demolition and  
Erosion Control Plan**

**Midtown Police Station**

4020 Mineral Point Road, Madison WI

City of Madison  
210 MLK, Jr. Blvd  
Madison, WI 53703

PROJECT NUMBER 152413.01  
AYRES PROJECT NUMBER 27-1034.00

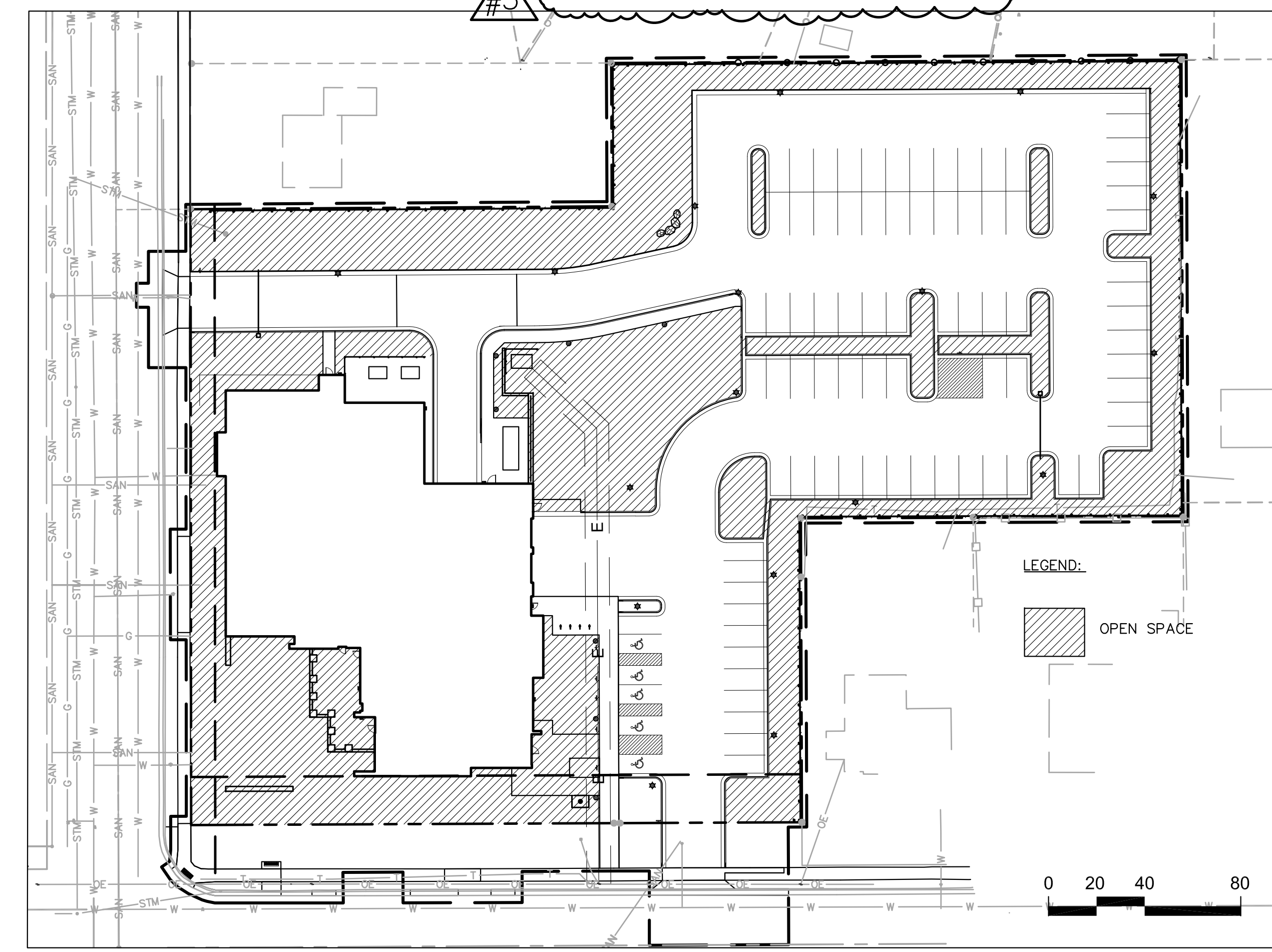
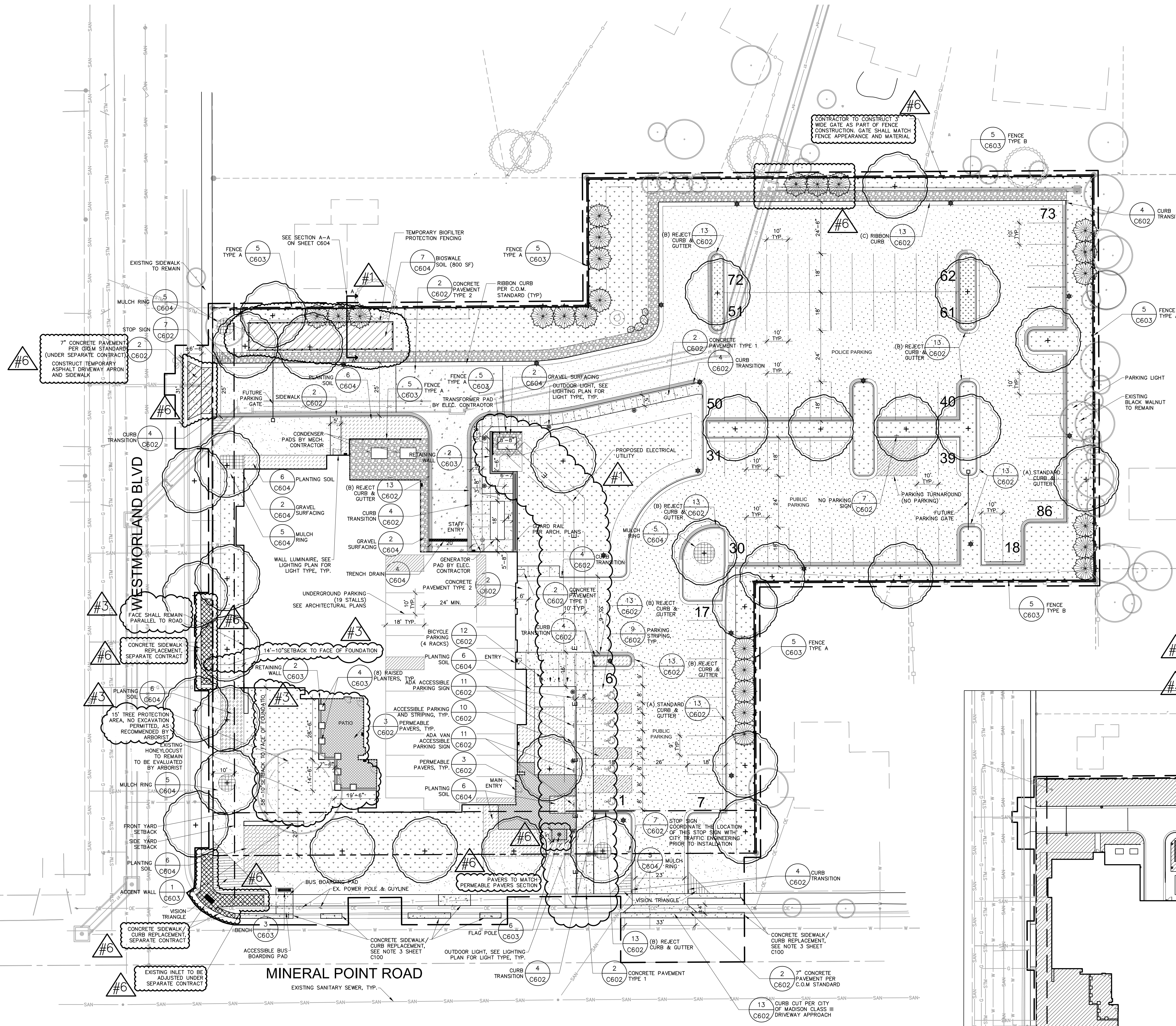
ISSUED FOR: CONSTRUCTION 5-5-2017

REVISION FOR:		
NO.	DESCRIPTION	DATE
1	ADDENDUM #1	6/9/17
3	ASI #001	10/3/17
4	ASI #002	10/25/17
6	ASI #004	1/25/18

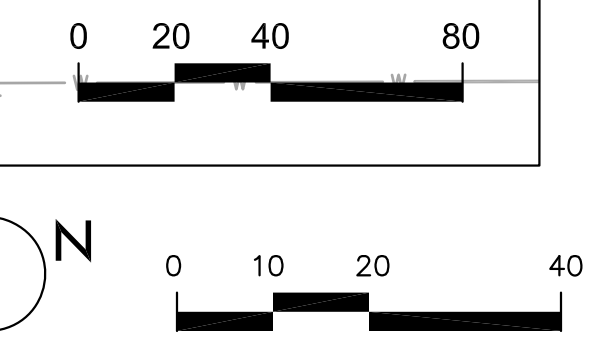
- LEGEND:**
- CONCRETE
  - ASPHALT
  - GRAVEL
  - PAVERS
  - PLANTING AREA
  - C.O.M. NO-MOW MIX
  - PLANTING SOIL
  - BIOSWALE SOIL
  - OUTDOOR LIGHT, SEE LIGHTING PLAN FOR LIGHT TYPE, TYP.
  - FENCE
  - EVERGREEN TREE
  - SHADE TREE
  - EXISTING TREE TO REMAIN
  - EXISTING TREE TO REMOVE
  - MULCH
  - BIOSWALE SOIL

- PROPERTY LINE
- PROJECT LIMIT LINE
- BUILDING SETBACK
- CURB & GUTTER PER C.O.M. (STANDARD)
- CURB & GUTTER PER C.O.M. (REJECT)

- NOTES:**
- SHEETS ARE INTENDED AS 30"x42" FULL SIZE.
  - PROJECT LIMIT LINE OFFSET FOR GRAPHIC CLARITY
  - ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.
  - SEE ELECTRICAL PLANS (SHEET E050) FOR LIGHTING.
  - ALL WORK WITHIN THE PUBLIC R.O.W. SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTED BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.
  - CONTRACTOR SHALL REPLACE ALL EXISTING, TO REMAIN, SIDEWALK, CURB, AND GUTTER DAMAGED DURING CONSTRUCTION.
  - ALL DAMAGE TO THE PAVEMENT ON MINERAL POINT ROAD AND WESTMORLAND BOULEVARD ADJACENT TO THIS DEVELOPMENT SHALL BE RESTORED IN ACCORDANCE WITH CITY OF MADISON PAVEMENT PATCHING CRITERIA.
  - CONTRACTOR SHALL INSTALL EXPANSION JOINTS BETWEEN CONCRETE PAVING, CURBS, AND EXISTING PAVING OR STRUCTURES.
  - THE CONTRACTOR IS RESPONSIBLE FOR SITE STAKING. ALL PROPOSED SITE FEATURES SHALL BE STAKED IN THE FIELD PRIOR TO CONSTRUCTION.
  - ALL PAVEMENT MARKINGS SHALL BE INSTALLED IN PROMAR LOW VOC ACRYLIC COPOLYMER TRAFFIC MARKING PAINT OR APPROVED EQUAL.
  - PARKING STALL WIDTH 10'-0" UNLESS OTHERWISE NOTED
  - MAXIMUM SLOPE AT ALL HANDICAP ACCESSIBLE WALKS SHALL BE 1:20; CROSS SLOPES SHALL BE 2% OR LESS IN ALL DIRECTIONS.
  - BIKE STALLS SHALL BE IN ACCORDANCE WITH CITY OF MADISON GENERAL ORDINANCE 28.141.
  - ARCHITECTURAL DETAIL PROVIDED FOR INFORMATION PURPOSES ONLY.
  - 12" OF PLANTING SOIL SHALL BE PLACED IN ALL PLANTING & TURF AREAS UNLESS OTHERWISE NOTED. (SEE DETAIL 6/C604.)
  - NO ACCESS TO THE PUBLIC RIGHT-OF-WAY ON MINERAL POINT ROAD WILL BE GRANTED FOR CONSTRUCTION PURPOSES. CONTACT MIKE DUHR, CITY TRAFFIC CONTROL SPECIALIST AT (608)267-8755 PRIOR TO DISRUPTION OF TRAFFIC FLOW PATTERNS OR PEDESTRIAN PATH OF TRAVEL PATTERNS ALONG MINERAL POINT ROAD OR WESTMORLAND BLVD.
  - CONTRACTOR SHALL COORDINATE THE FINAL LOCATION AND SIZE OF TRANSFORMER AND GENERATOR PADS WITH MEP AND MANUFACTURER PRIOR TO INSTALLATION.
  - PRIVATE UTILITY SHOWN ARE FROM PROVIDER. LINES SHOWN ARE APPROXIMATE LOCATIONS.
  - ALL BUILDING FACES SHALL BE BEHIND SETBACK LINES.



SITE STATISTICS		ACCESSIBLE SPACES		TOTAL PARKING:	
SITE AREA	100,052.6 sf (2.3 ac)	REQ'D:	5 (4 Standard & 1 Van)	86 Surface	19 Below Ground
REO'D OPEN SPACE (35%)	35,018.41 sf	MAXIMUM LOT COVERAGE (65%)	65,034.19 sf (1.49 acres)	PROPOSED LOT COVERAGE	47,568.24 (47.54%)
BUILDING AREA:	15,497.2 sf (FOOTPRINT)	PROPOSED OPEN SPACE	36,363.74 sf (36.34%)	ACCESSIBLE SPACES PROVIDED:	5 (4 Standard & 1 Van)
	33,000 sf (TOTAL SF)				



**FOR CONSTRUCTION**

DRAWN BY SK, SS  
CHECKED BY JB

**Site Plan**



**Midtown Police Station**

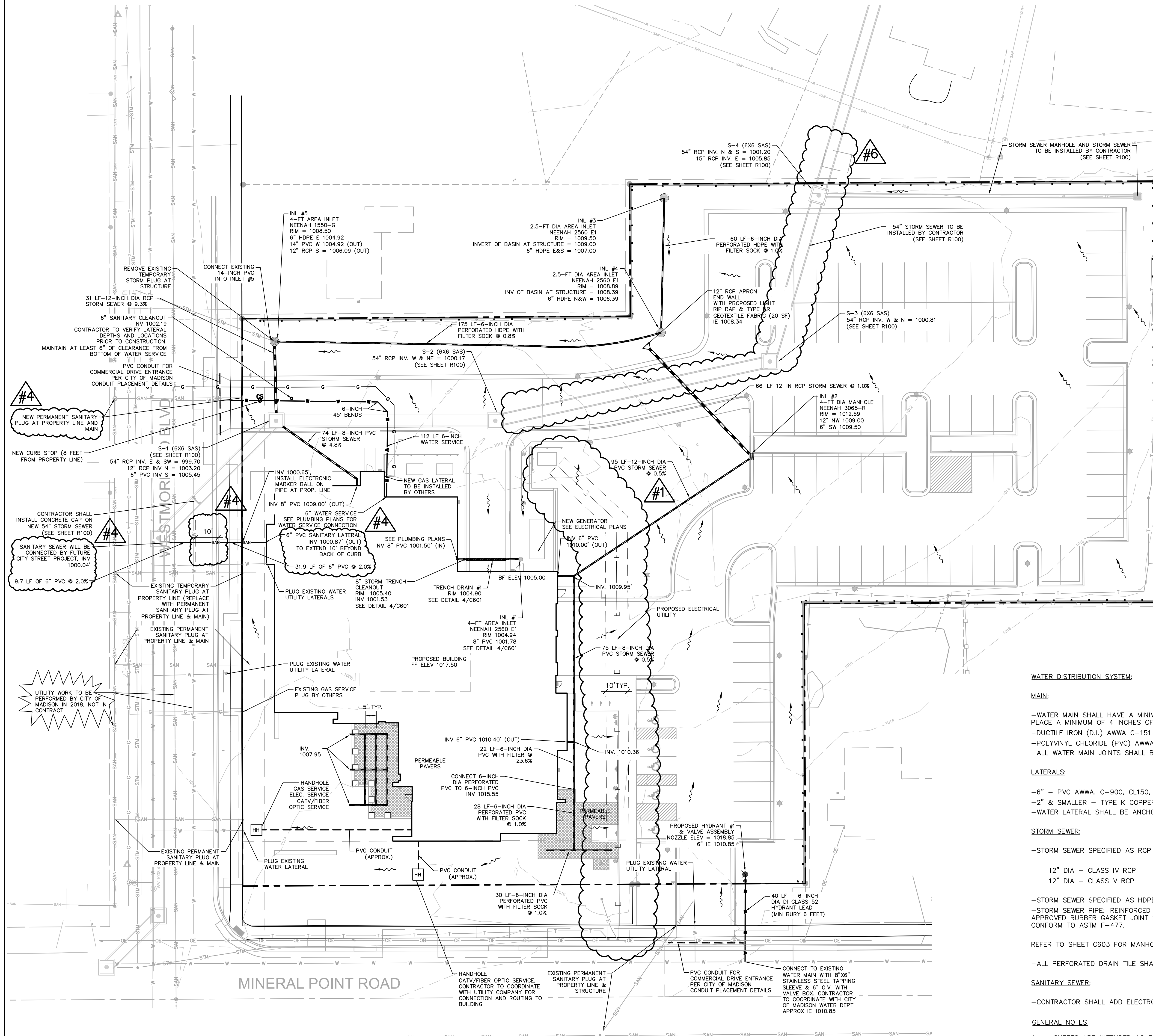
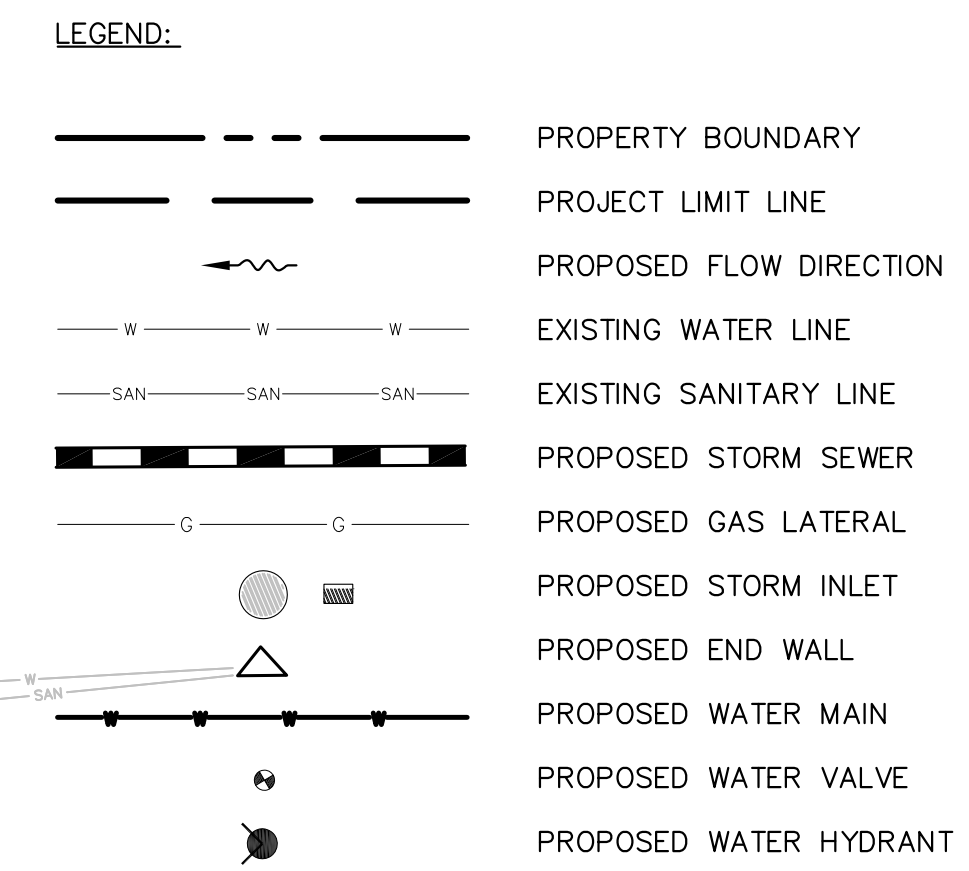
4020 Mineral Point Road, Madison WI

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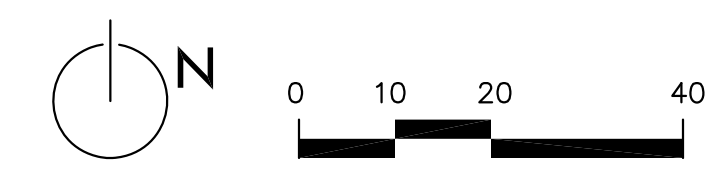
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- UTILITY NOTES:**
- THE CONTRACTOR SHALL OBTAIN A CONNECTION PERMIT AND EXCAVATION PERMIT PRIOR TO COMMENCING THE STORM SEWER CONSTRUCTION.
  - ALL UTILITIES SHALL BE DIGITALLY SURVEYED BY THE CONTRACTOR PRIOR TO BEING BURIED. SEE PROJECT SPECIFICATIONS.
  - ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
  - ALL DAMAGE TO THE PAVEMENT ON MINERAL POINT ROAD AND WESTMORLAND BOULEVARD ADJACENT TO THE PROJECT SITE SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF MADISON'S PAVEMENT PATCHING CRITERIA.
  - THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
  - REFER TO CITY OF MADISON SDD 5.4.4 FOR RIPRAP PLACEMENT DETAIL.
  - STANDARD SPECIFICATIONS: PERFORM ALL WORK IN ACCORDANCE WITH THE PROVISIONS OF:
    - CITY OF MADISON SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION, LATEST EDITION
    - "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" (SSWSC) LATEST EDITION
    - STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (WISDOT) LATEST EDITION
    - CONTRACTOR SHALL OBTAIN A CURRENT COPY OF THE CITY OF MADISON'S STANDARD SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.
    - INCLUDING ALL SUPPLEMENTAL SPECIFICATIONS AND OTHER REVISIONS TO DATE, UNLESS OTHERWISE SPECIFIED IN THE SPECIFICATIONS.
    - WITHIN THE RIGHT-OF-WAY OR UNDERNEATH PAVEMENTS OR BUILDINGS, GRANULAR TRENCH BACKFILL MUST BE USED TO FILL THE TRENCH. ALL OTHER AREAS MAY UTILIZE EXCAVATED TRENCH SOIL FOR BACKFILL PROVIDING THAT THE MATERIAL IS FREE OF ORGANIC MATERIAL AND STONES LARGER THAN 6" IN DIAMETER.
    - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS OF THESE CODE SECTIONS AS PER 182.0715(2R) OF THE STATUTES.
  - PRIVATE UTILITY SHOWN ARE FROM PROVIDER. LINES SHOWN ARE APPROXIMATE LOCATIONS.

- WATER DISTRIBUTION SYSTEM:**
- MAIN:**
- WATER MAIN SHALL HAVE A MINIMUM BURY DEPTH OF 6 FEET TO THE TOP OF PIPE. IF 6 FEET OF BURY CANNOT BE OBTAINED, CONTRACTOR SHALL PLACE A MINIMUM OF 4 INCHES OF STYROFOAM INSULATION ON TOP AND ON THE SIDES OF THE WATER MAIN TO THE 6 FOOT BURY LINE PER THE SSSWC.
  - DUCTILE IRON (D.I.) AWWA C-151 CLASS 52 WITH CABLE BOND CONDUCTORS, FURNISHED AND INSTALLED PER CHAPTER 8.180 (WSWS) OR
  - POLYVINYL CHLORIDE (PVC) AWWA C-900, FURNISHED AND INSTALLED PER CHAPTER 8.20.0 (WSWS)
  - ALL WATER MAIN JOINTS SHALL BE RESTRAINED.
- LATERALS:**
- 6" - PVC AWWA, C-900, CL150, SDR 18 OR DUCTILE IRON AWWA C-151, CLASS-52
  - 2" & SMALLER - TYPE K COPPER
  - WATER LATERAL SHALL BE ANCHORED.
- STORM SEWER:**
- STORM SEWER SPECIFIED AS RCP SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO THE FOLLOWING SPECIFICATIONS UNLESS OTHERWISE NOTED:
  - 12" DIA - CLASS IV RCP
  - 12" DIA - CLASS V RCP
  - STORM SEWER SPECIFIED AS HDPE SHALL BE CORRUGATED HDPE, SMOOTH INTERIOR ASTM F2306.
  - STORM SEWER PIPE: REINFORCED CONCRETE PIPE (RCP) CONFORMING TO ASTM C-76, POLYETHYLENE MATERIAL SHALL CONFORM TO ASTM D3350. AN APPROVED RUBBER GASKET JOINT SHALL BE USED FOR EITHER OPTION. JOINTS FOR RCP SHALL CONFORM TO ASTM D-471. JOINTS FOR HDPE SHALL CONFORM TO ASTM F-477.
- REFER TO SHEET C603 FOR MANHOLE INLET DETAILS.
- ALL PERFORATED DRAIN TILE SHALL BE PLASTIC WITH A FILTER SOCK.
- SANITARY SEWER:**
- CONTRACTOR SHALL ADD ELECTRONIC MARKER BALL OVER SANITARY SEWER LATERAL AT THE PROPERTY LINE.
- GENERAL NOTES**
- SHEETS ARE INTENDED AS 30"x42" FULL SIZE.
  - PROJECT LIMIT LINE OFFSET FOR GRAPHIC CLARITY



**C400**



**POLICE  
DEPARTMENT  
MIDTOWN DISTRICT**

4020 Mineral Point Road, Madison, WI  
City of Madison Police Department  
211 South Carroll Street  
Madison, WI 53703

PROJECT NUMBER 152413.01

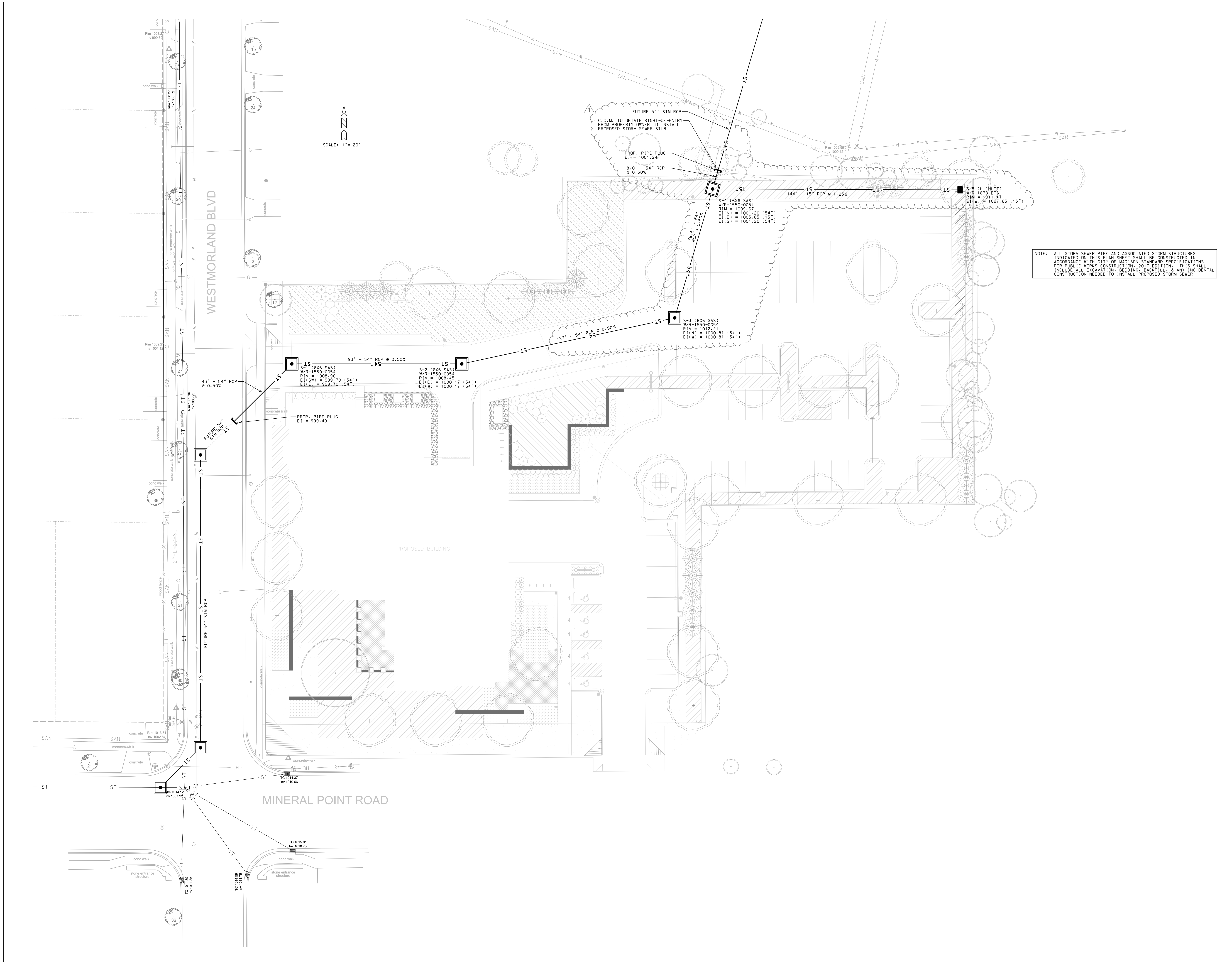
ISSUED FOR:  
CONSTRUCTION 5-5-2017

REVISION FOR:  
NO. DESCRIPTION DATE  
1 STORM SEWER 12/06/17

DRAWN BY \_\_\_\_\_ Author  
CHECKED BY \_\_\_\_\_ Checker

**DETAILS**

**R100**



NOTE: ALL STORM SEWER PIPE AND ASSOCIATED STORM STRUCTURES INDICATED ON THIS PLAN SHEET SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2017 EDITION. THIS SHALL INCLUDE ALL EXCAVATION, BEDDING, BACKFILL, & ANY INCIDENTAL CONSTRUCTION NEEDED TO INSTALL PROPOSED STORM SEWER